

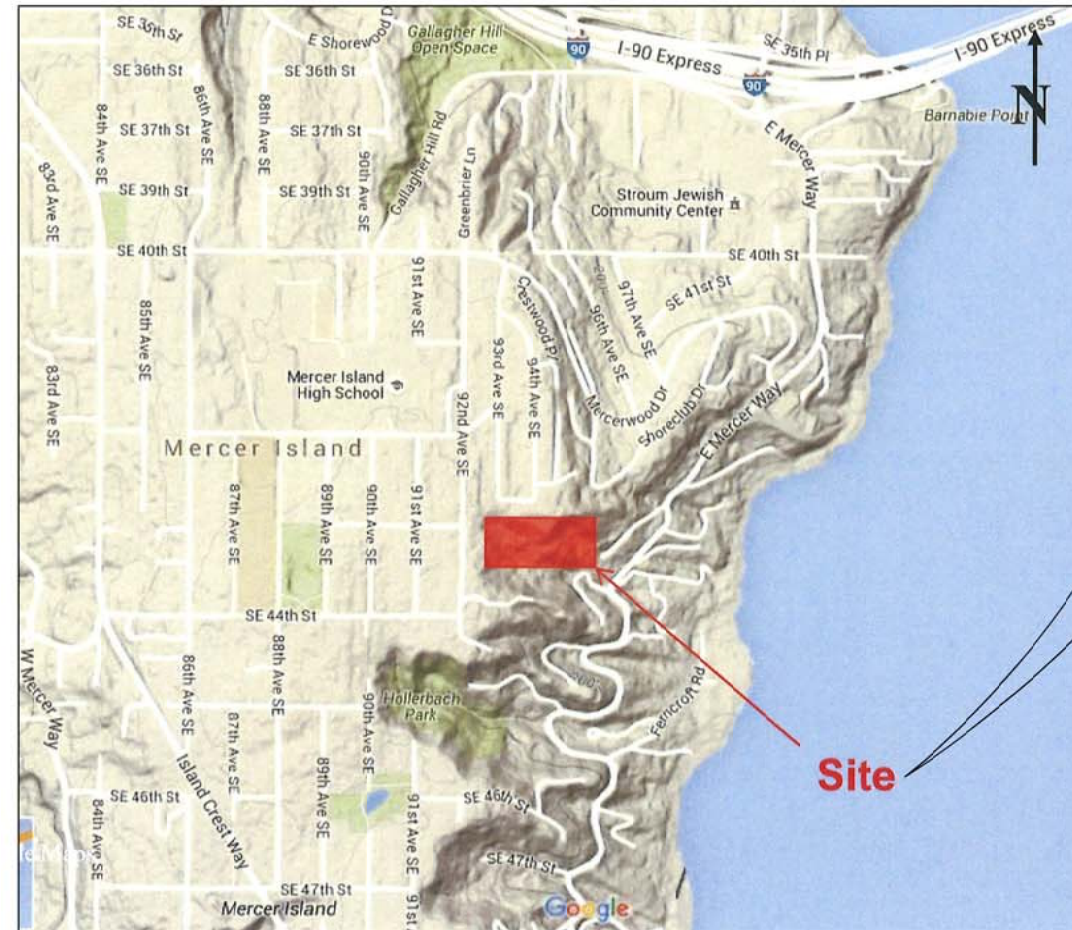
KNOPF RESIDENCE HILLSIDE IMPROVEMENTS Mercer Island, WA.

AMENDED PERMIT SET SEPTEMBER 23, 2019

VERIFY SCALE	
BAR IS ONE INCH ON ORIGINAL DRAWING 0 1	IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

DATE	DESCRIPTION	REVISED	SCALE	NO	SCALE	CHK	BY	DRW	BY	GF	REF.
20SEP19	CITY OF MERCER ISLAND REVIEW COMMENTS							DJ			

HARBOR CONSULTING ENGINEERS
ENGINEERS • PLANNERS • SURVEYORS
3316 FUHRMAN AVENUE EAST, SUITE 250
SEATTLE, WASHINGTON 98102
PHONE: (206) 709-2397



ADDRESS: 9507 SE 43rd STREET, MERCER ISLAND, WA. 98040

VICINITY MAP
SCALE: NTS



SITE PLAN
SCALE: NTS



LEGAL DESCRIPTION

SW ¼ OF NE QUARTER OF SECTION 18T 24N R 05 E W.M.
PARCEL NO'S: 0046100014, 1824059125, 1824059135,
0046100011 & 004610TRCT

SHEET INDEX:

- G1 COVER SHEET, VICINITY MAP & DRAWING INDEX
- R1 POST-SLIDE REFERENCE TOPOGRAPHIC PLAN
- C1 CIVIL GENERAL NOTES
- C2 TEMPORARY EROSION & SEDIMENT CONTROL NOTES & DETAILS
- C3 TEMPORARY EROSION & SEDIMENT CONTROL PLAN
- S0 GENERAL STRUCTURAL NOTES, ABBREVIATIONS, AND SYMBOLOLOGY
- S1 HILLSIDE IMPROVEMENTS PLAN
- S2 HILLSIDE IMPROVEMENTS DETAILS

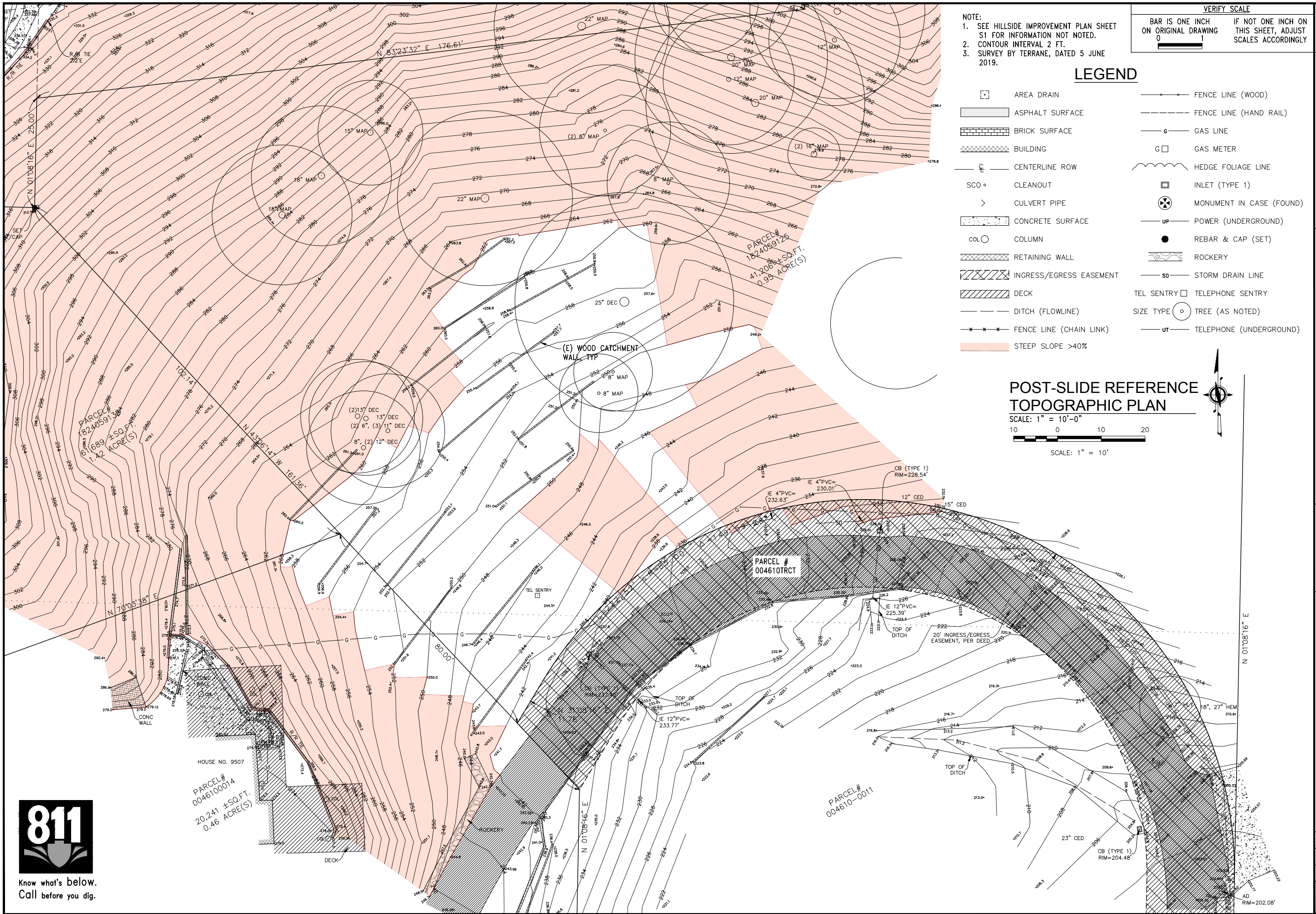


KNOPF RESIDENCE
9507 SE 43rd Street
MERCER ISLAND WA. 98040

**COVER SHEET,
VICINITY MAP & DRAWING INDEX**

JOB NO.	19023.00
DATE:	8.22.19
SHEET:	1 OF 8
DWG.#	G1

PERMIT SET



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NOTE:
 1. SEE HILLSIDE IMPROVEMENT PLAN SHEET S1 FOR INFORMATION NOT NOTED.
 2. CONTOUR INTERVAL 2 FT.
 3. SURVEY BY TERRANE, DATED 5 JUNE 2019.


LEGEND

- ☐ AREA DRAIN
- ▨ ASPHALT SURFACE
- ▨ BRICK SURFACE
- ▨ BUILDING
- +— CENTERLINE ROW
- CLEANOUT
- > CULVERT PIPE
- ▨ CONCRETE SURFACE
- COLUMN
- ▨ RETAINING WALL
- ▨ INGRESS/EGRESS EASEMENT
- ▨ DECK
- DITCH (FLOWLINE)
- *—*— FENCE LINE (CHAIN LINK)
- ▨ STEEP SLOPE >40%
- +— FENCE LINE (WOOD)
- +— FENCE LINE (HAND RAIL)
- G GAS LINE
- G GAS METER
- ~ HEDGE FOLIAGE LINE
- INLET (TYPE 1)
- ⊗ MONUMENT IN CASE (FOUND)
- UP— POWER (UNDERGROUND)
- REBAR & CAP (SET)
- ▨ ROCKERY
- SD— STORM DRAIN LINE
- TEL SENTRY □ TELEPHONE SENTRY
- SIZE TYPE ○ TREE (AS NOTED)
- UT— TELEPHONE (UNDERGROUND)

POST-SLIDE REFERENCE TOPOGRAPHIC PLAN

SCALE: 1" = 10'-0"
 10 0 10 20
 SCALE: 1" = 10'



SCALE:	AS NOTED
DATE:	20SEP19
DESCRIPTION:	CITY OF MERCER ISLAND REVIEW COMMENTS
REVISION:	
CHK BY:	DJ
DRW BY:	DJ
GF:	
REF:	
HARBOR CONSULTING ENGINEERS ENGINEERS • PLANNERS • SURVEYORS 3316 FUHRMAN AVENUE EAST, SUITE 250 SEATTLE, WASHINGTON 98102 PHONE: (206) 709-2397	
	
KNOPF RESIDENCE 9507 SE 43rd Street MERCER ISLAND WA. 98040	
POST-SLIDE REFERENCE TOPOGRAPHIC PLAN	
JOB NO.	19023.00
DATE:	8.22.19
SHEET:	2 OF 8
DWG.#	R1
PERMIT SET	

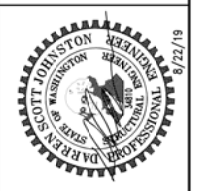
CIVIL GENERAL NOTES:

1. SITE ADDRESS: 9507 SE 43rd STREET MERCER ISLAND WA 98040
2. ELEVATIONS ARE IN FEET AND ARE REFERRED TO NAVD88
3. OWNER WILL OBTAIN AND PAY FOR FEDERAL AND LOCAL ENVIRONMENTAL AND CONSTRUCTION PERMITS. ALL OTHER PERMITS WHICH MAY BE REQUIRED SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR, WHO SHALL COMPLY WITH ALL CONDITIONS OF THESE PERMITS.
4. MATERIALS AND INSTALLATION SHALL COMPLY WITH INTERNATIONAL BUILDING CODE, 2015 EDITION, WITH CURRENT LOCAL AMENDMENTS, AND ALL OTHER APPLICABLE CODES, RULES AND REGULATIONS.
5. THE GEOTECHNICAL REPORTS ARE DATED JANUARY 13, 2016, JANUARY 4, 2019 AND AUGUST 1, 2019 BY PANGEO. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE ITSELF WITH THE CONTENTS THEREOF.
6. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE STARTING WORK.
7. EXISTING UTILITY LINES IN SERVICE OR OTHER SITE FEATURES WHICH ARE DAMAGED DUE TO THE CONTRACTOR'S ACTIONS SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AND SHALL BE INSPECTED AND ACCEPTED BY THE ENGINEER.
8. COORDINATE AND ARRANGE FOR ALL UTILITY SERVICE INTERRUPTIONS WITH APPROPRIATE UTILITY AND WITH OWNER.
9. ALL DISTURBED AREAS OTHER THAN SPECIFIED CONTRACT WORK AREAS SHALL BE RETURNED TO THEIR PRECONSTRUCTION CONDITION PRIOR TO CONTRACT COMPLETION AND ACCEPTANCE.
10. THIS PROJECT IS NOT A BALANCED EARTHWORK PROJECT. BOTH IMPORT AND EXPORT OF SOIL AND ROCK MATERIALS WILL BE REQUIRED.
11. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROL FACILITIES AS REQUIRED TO PREVENT EROSION AND TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL OR PUBLIC DRAINAGE SYSTEM OR ADJACENT WATERS.
12. SURVEY INFORMATION AND UNDERGROUND UTILITY LOCATIONS USED IN THE PREPARATION OF THESE DRAWINGS WERE FURNISHED BY OTHERS. HARBOR CONSULTING ENGINEERS DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS OR ACCURACY. LOCATIONS OF EXISTING UTILITIES SHOULD BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF THESE LOCATIONS AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES WHICH MAY BE AFFECTED BY ITS WORK.
13. COPIES OF ALL ENVIRONMENTAL PERMITS WILL BE FURNISHED TO THE CONTRACTOR, WHO SHALL COMPLY WITH ALL CONDITIONS OF THESE PERMITS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF SAFE WORKING CONDITIONS AND SHALL INSTALL AND MAINTAIN SHORING AND BRACING NECESSARY TO PROTECT WORKERS, EXISTING STRUCTURES, UTILITIES AND OTHER IMPROVEMENTS AND EXCAVATIONS AGAINST LOSS OF GROUND OR CAVING EMBANKMENTS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REMOVAL OF SHORING AND BRACING AS REQUIRED.
15. THE OWNER'S PREMISES WILL BE OCCUPIED AND IN SERVICE DURING PROGRESS OF THE WORK. CONTRACTOR SHALL MINIMIZE THE EFFECTS OF ITS WORK ON NORMAL ACTIVITIES ADJACENT TO THE PROJECT SITE AND SHALL COORDINATE ALL SCHEDULES AND WORK WITH THE OWNER.
16. CONSTRUCTION DEBRIS SHALL NOT BE STORED OR BURNED ON SITE. DEBRIS SHALL BE REMOVED DAILY AND SHALL NOT BE ALLOWED TO ENTER THE WATER.
17. ALL APPROVED DEVIATIONS FROM THESE PLANS SHALL BE RECORDED ON A SET OF 'AS-BUILT' DRAWINGS, SUBMITTED TO THE OWNER'S REPRESENTATIVE AS THE PROJECT PROGRESSES AND SHALL BE SUMMARIZED ON ONE FULL-SIZE SET OF AS-BUILT REPRODUCIBLE DRAWINGS PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
18. A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.

VERIFY SCALE
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 0 1
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DRW BY:	TL
REF:	

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 PHONE: (206) 709-2397



KNOPF RESIDENCE
 9507 SE 43rd Street
 MERCER ISLAND WA 98040
 CIVIL GENERAL NOTES

JOB NO.	19023.00
DATE:	8.22.19
SHEET:	3 OF 8
DWG.#	C1

PERMIT SET

LEGEND

(ALL SYMBOLS MAY NOT BE USED ON THE DRAWINGS)

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1.	FIRE HYDRANT	18.	INDICATES OBSERVED GROUNDWATER SEEPAGE IN 2017.	32.	30" SD STORM DRAIN LINE WITH SIZE
2.	WATER METER	19.	INDICATES EXISTING CATCH BASIN.	33.	SANITARY SEWER LINE
3.	WATER VALVE W/ VALVE BOX	20.	INDICATES EXISTING CULVERT WITH IDENTIFYING NUMBER BELOW DRIVEWAY.	34.	6" SS SANITARY SEWER LINE WITH SIZE
4.	WATER MANHOLE	21.	INDICATES TECCO MESH INSTALLED ON SLOPES GREATER THAN 60%.	35.	GAS MAIN
5.	MONITORING WELL	22.	EXISTING FEATURES	36.	TREE
6.	ELECTRICAL UTILITY HATCH	23.	PROPOSED FEATURES	37.	EXISTING SPOT ELEVATIONS
7.	POWER VAULT	24.	PROPERTY LINE	38.	PROPOSED SPOT ELEVATIONS
8.	LIGHT POLE	25.	TELEPHONE CONDUIT	39.	SWALE
9.	GUY WIRE AND ANCHOR	26.	BUILDING	40.	INDICATES: C.O.M.I. MAPPED TYPE 2 PERENNIAL WATER COURSE.
10.	CATCH BASIN	27.	FENCE	41.	INDICATES: R.W. THORPE 2006 SURVEYED TYPE 2 PERENNIAL WATER COURSE.
11.	GAS VALVE	28.	FIRE PROTECTION		
12.	GAS METER	29.	WATER MAIN		
13.	TELEPHONE MANHOLE	30.	UNDERGROUND ELECTRICAL LINE		
14.	SIGN POST	31.	STORM DRAIN LINE		
15.	CONTROL POINT				
16.	INDICATES EXISTING ASPHALT PAVING.				
17.	INDICATES PROPERTY LINE BOUNDARY.				



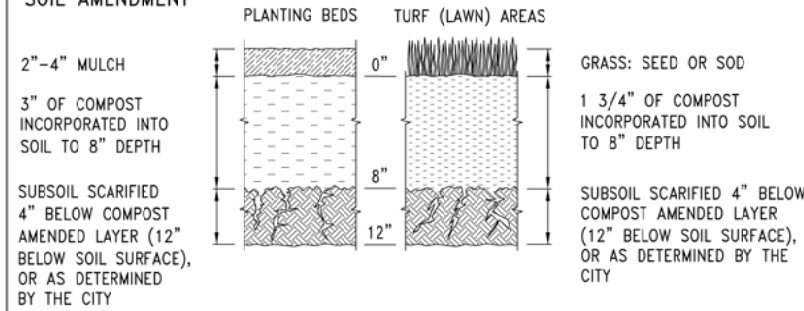
POST CONSTRUCTION SOIL MANAGEMENT PLAN

AT THE END OF PROJECT, ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL BELOW AND PROBED TO 12-INCHES AT THE SITE FINAL INSPECTION.

DEFINITIONS:

- NON-DISTURBED AREA: VEGETATED AREAS THAT WILL NOT BE SUBJECT TO LAND DISTURBING ACTIVITY DO NOT REQUIRE SOIL AMENDMENT IF THEY ARE FENCED AND CONTINUOUSLY PROTECTED THROUGHOUT CONSTRUCTION. THE FENCING MUST BE IN PLACE AT THE FIRST GROUND DISTURBANCE INSPECTION. THIS WILL BE MONITORED BY THE BUILDING DEPARTMENT SITE INSPECTOR. NO DISTURBANCE, INCLUDING VEHICLE TRAFFIC OR MATERIAL STORAGE, IS ALLOWED IN THESE AREAS UNTIL FINAL INSPECTION. LABEL THESE AREAS AS (ND) IN THE PLAN VIEW.
- SOIL AMENDMENT AREA (SA): VEGETATED OR COMPOST AREAS (TURF AND LANDSCAPE) MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL AND THE SUBSOIL MUST BE LOOSENEED SO IT WILL PROBE TO A DEPTH OF 12 INCHES PRIOR TO SITE FINAL INSPECTION. THIS INCLUDES AREAS IMPACTED BY CLEARING AND GRADING, STOCKPILING, SITE ACCESS, PATHWAYS AND MATERIALS OR EQUIPMENT STORAGE. LABEL THESE AREAS AS (SA) IN THE PLAN VIEW.

SOIL AMENDMENT



NOTES:

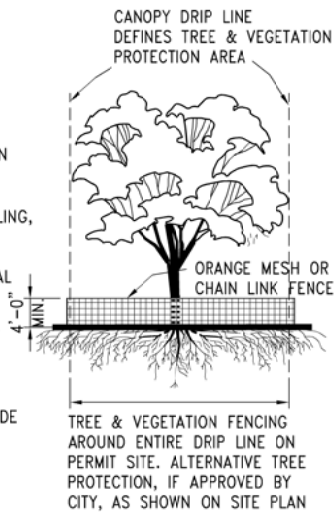
- POST CONSTRUCTION SOIL AMENDMENT IS REQUIRED ON ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE WHERE SOIL IS DISTURBED DURING CONSTRUCTION.
- SOIL AMENDMENT MUST PASS A 12 INCH MINIMUM PROBE TEST.

SYMBOL: (SA) AREA REQUIRING SOIL AMENDMENT (ND) NON-DISTURBED AREA (SOIL AMENDMENT NOT REQUIRED)

TREE & VEGETATION PROTECTION

TREE PROTECTION FENCING

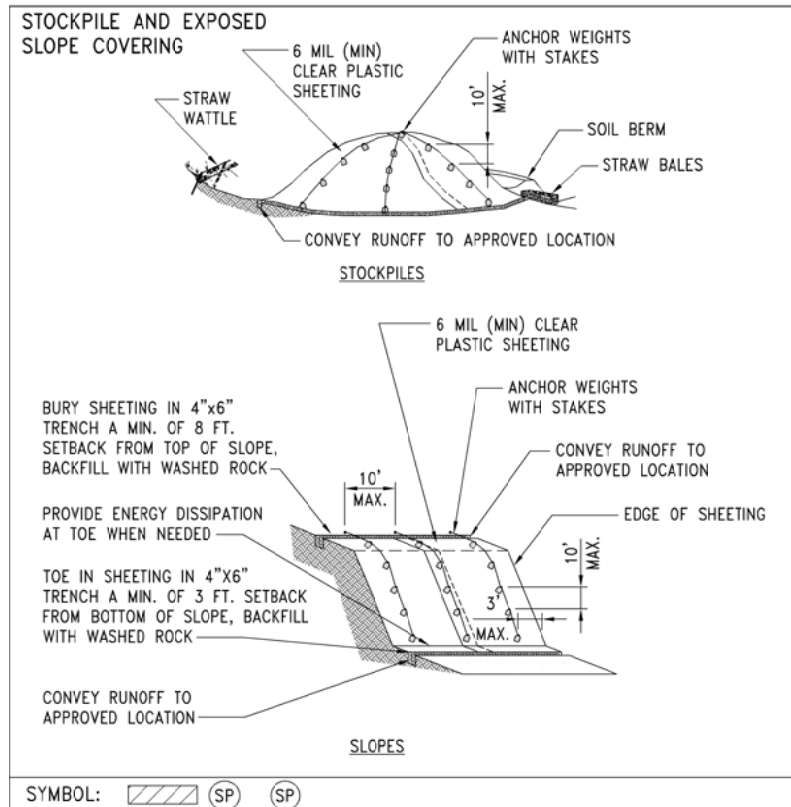
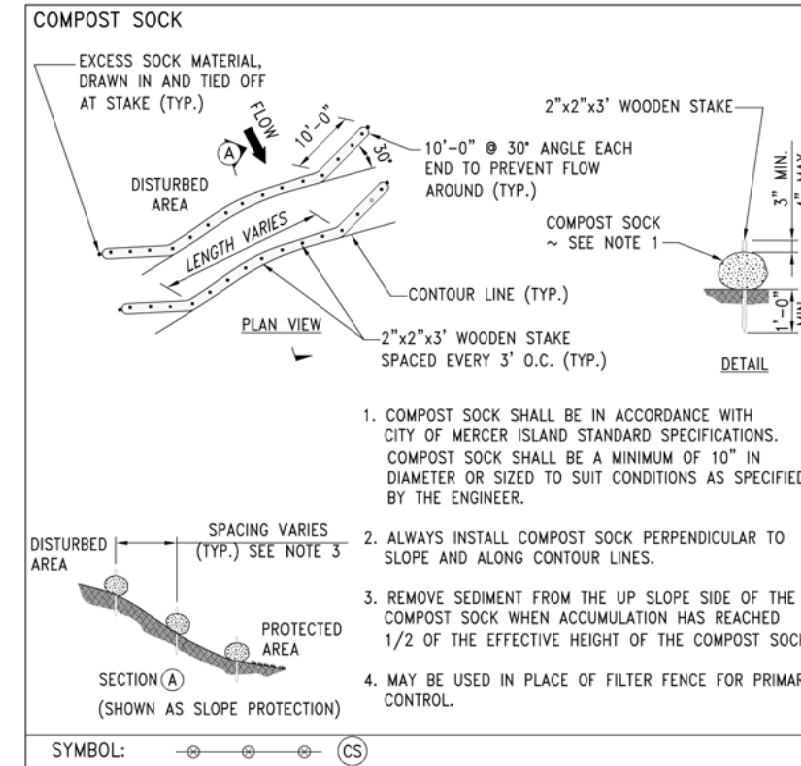
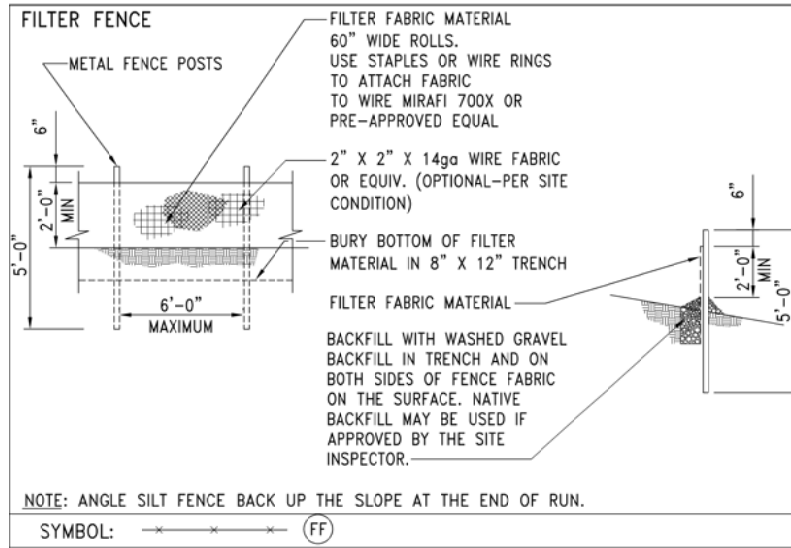
- MUST BE INSTALLED PRIOR TO DEMOLITION OR GROUND DISTURBANCE
- KEPT IN PLACE FOR THE DURATION OF CONSTRUCTION
- NO SOIL DISTURBANCE OR ACTIVITY ALLOWED WITHIN FENCED AREA, SUCH AS MATERIAL STORAGE/STOCKPILING, PARKING, EXCAVATION, DUMPING, OR WASHING
- MODIFICATIONS OF THESE REQUIREMENTS BY APPROVAL OF BUILDING DEPARTMENT PLANNER ONLY
- IF ROOTS GREATER THAN 2 INCH FOUND OUTSIDE OF FENCING, PROTECT BY HAND EXCAVATION AND, IF NECESSARY, CUT CLEANLY AND KEEP MOIST
- USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS



VEGETATION PROTECTION

- MINIMIZE CONSTRUCTION ZONE
- PROTECT VEGETATION OUTSIDE CONSTRUCTION ZONE WITH FENCING AS SHOWN
- USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS

SYMBOL: (VEG) LINK TO MORE TREE PROTECTION INFORMATION:



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SCALE:	NTS
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DRW BY:	TL
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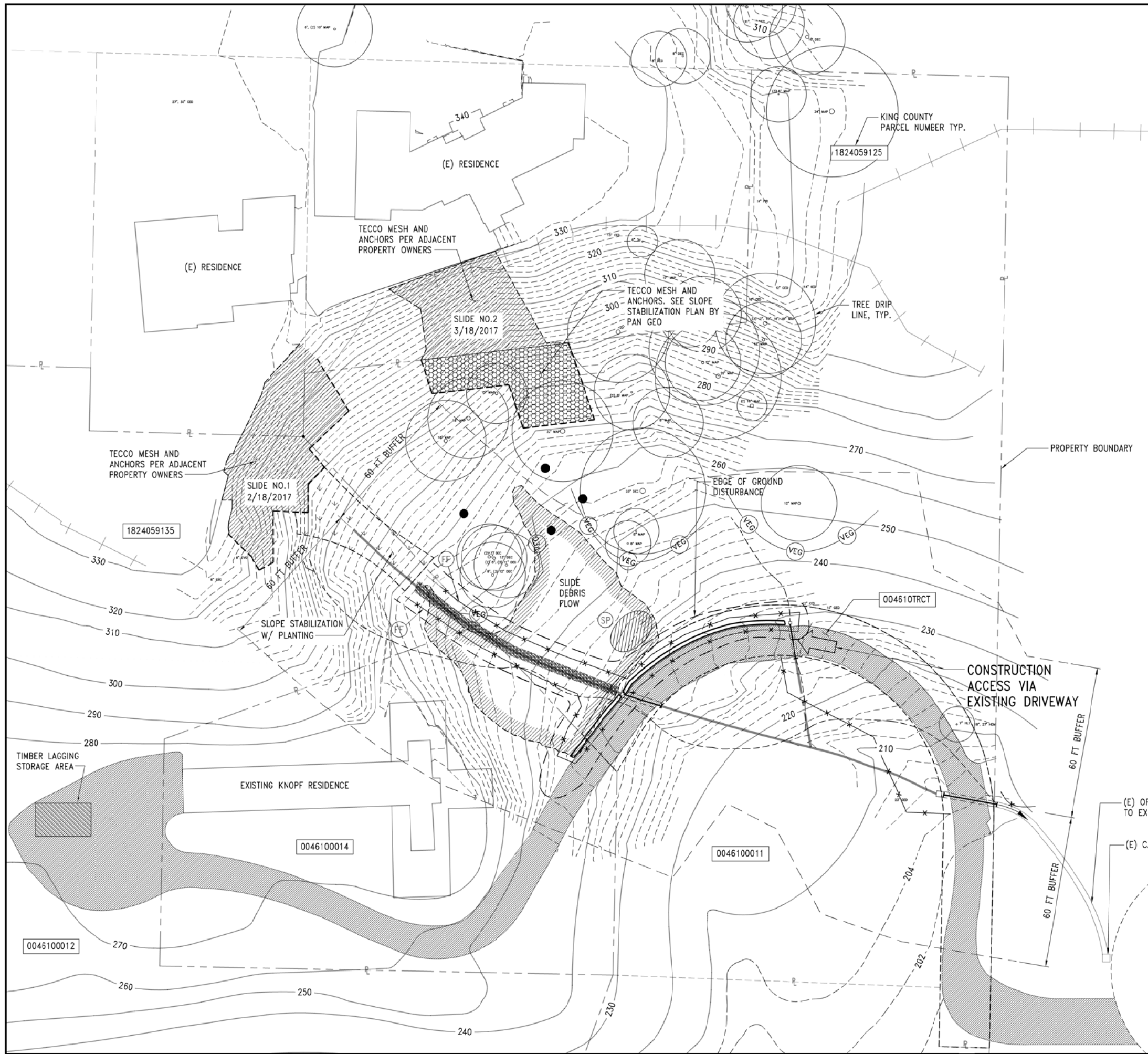
KNOPF RESIDENCE
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MERCER ISLAND WA. 98040

TEMPORARY EROSION & SEDIMENT CONTROL NOTES & DETAILS

JOB NO.	19023.00
DATE:	8.22.19
SHEET:	4 OF 8
DWG.#	C2



PERMIT SET



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NOTE:
 1. SEE HILLSIDE IMPROVEMENT PLAN SHEET S1 FOR INFORMATION NOT NOTED.
 2. POST-SLIDE TOPOGRAPHY SHOWN FOR REFERENCE BY TERRANE, DATED 5 JUNE 2019.

CIVIL LEGEND:

1. (SP) [diagonal hatching] - TEMPORARY EXCAVATED SOIL STORAGE
2. [cross-hatching] (FF) - FILTER FENCE
3. [circle with VEG] - TREE & VEGETATION PROTECTION
4. [black dot] - OBSERVED GROUND WATER SEEPAGE IN THE SPRING OF 2017.

PARCELS OWNED BY DONNA AND ED KNOPF'S LIVING TRUST:
 1824059125
 0046100011

PARCELS OWNED BY EDWARD D. KNOPF
 1824059135
 0046100012
 0046100014 (HOUSE)

DATE	20SEP19	REVISION	AS NOTED
DESCRIPTION	CITY OF MERCER ISLAND REVIEW COMMENTS	CHK BY:	DJ
SCALE:		DRW BY:	GF
		REF:	

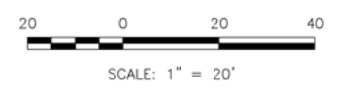
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 SEATTLE, WASHINGTON 98102
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KNOPF RESIDENCE
 9507 SE 43rd Street
 MERCER ISLAND WA. 98040

TEMPORARY EROSION & SEDIMENT CONTROL PLAN

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN
 SCALE: 1" = 20'-0"



JOB NO.	19023.00
DATE:	8.22.19
SHEET:	5 OF 8
DWG.#	C3

PERMIT SET

GENERAL STRUCTURAL NOTES

(THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE PLANS)

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE DRAWINGS, SPECIFICATIONS, AND THE 2015 INTERNATIONAL BUILDING CODE.

STRUCTURAL DESIGN CRITERIA: (FOR EXISTING RESIDENCE)

ACTUAL DEAD LOADS PLUS THE FOLLOWING DEAD AND LIVE LOADS:
 FLOOR LIVE LOAD 40 psf
 ROOF SNOW LOAD 25 psf

WIND LOADING: 110 MPH BASIC WIND SPEED, EXPOSURE "B", $w = 1.0$
 $K_d = 1.0$

SEISMIC DESIGN: EQUIVALENT LATERAL FORCE PROCEDURE

$S_s = 1.50$, $F_a = 1.0$
 $S_1 = 0.5$, $F_v = 1.5$
 $R_p = 6.5$ PLYWOOD SHEATHED SHEARWALLS
 $\lambda_{ps} = 1.0$
 $\lambda_e = 1.0$
 SITE CLASS = "D"
 SEISMIC DESIGN CATEGORY = "D"

FOOTINGS SHALL BEAR ON SOLID UNYIELDING EARTH AT LEAST 12" BELOW LOWEST ADJACENT FINISHED GRADE AT PERIMETER AND EXTERIOR LOCATIONS. ALLOWABLE DESIGN SOIL BEARING PRESSURE= 2000 PSF, ASSUMED ALLOWABLE. MINIMUM FOOTING WIDTH SHALL BE 18 INCHES.

CONCRETE SHALL ATTAIN A 28 DAY STRENGTH OF 2500 PSI, MAXIMUM W/C RATIO = 0.50, MINIMUM 5 1/2 SACKS OF CEMENT PER CUBIC YARD. SUBMIT MIX DESIGN FOR REVIEW AND APPROVAL.

GROUT 5000 PSI MINIMUM 7-DAY CUBE STRENGTH PER ASTM C1157-00. GROUT TO BE PREMIXED NON-SHRINK "MASTERFLOW 928 GROUT" OR APPROVED EQUAL. USE SPECIFIC GROUT MIX RECOMMENDED BY MANUFACTURER FOR EACH GROUT APPLICATION AND FOLLOW GROUT MANUFACTURER'S INSTRUCTIONS.

REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60. SUBMIT REINFORCING SHOP DRAWINGS WITH DETAILS PER ACI 315 MANUAL OF STANDARD PRACTICE. REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 318-14. LAP ALL CONTINUOUS REINFORCEMENT 40 BARS DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL INTERSECTIONS. LAP CORNER BARS 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAP ADJACENT MATS OF WELDED WIRE FABRIC 1 1/2 MESH AT SIDES AND ENDS. NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES, EARTH FACE ----- 3"
 FORMED SURFACES EXPOSED TO EARTH OR WEATHER, #6 BARS AND LARGER ----- 2"
 FORMED SURFACES EXPOSED TO EARTH OR WEATHER, #5 BARS AND SMALLER ----- 1 1/2"
 WALLS, INTERIOR FACE, THE LARGER OF ONE BAR DIAMETER OR A MINIMUM OF ----- 3/4"

DRILL-IN EXPANSION BOLTS KWIK BOLT III BY HILTI FASTENING SYSTEMS, "RED HEAD WEDGE ANCHOR" BY ITT PHILLIPS OR APPROVED EQUAL. ICC CERTIFICATION REQUIRED. SPECIAL INSPECTION REQUIRED.

DRILL-IN ADHESIVE INSTALLATIONS HILTI HY20 ADHESIVE ANCHOR SYSTEM FOR UNREINFORCED MASONRY OR BRICK WITH CAVITIES, HIT RE 500 SD ADHESIVE ANCHOR SYSTEM BY HILTI FASTENING SYSTEMS OR SET EPOXY ANCHOR SYSTEM BY SIMPSON STRONG TIE ANCHOR SYSTEMS FOR SOLID MASONRY OR CONCRETE, OR APPROVED EQUAL. ICC CERTIFICATION REQUIRED. SPECIAL INSPECTION REQUIRED.

CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND SHORING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED TO PERFORM HIS WORK.

CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ONLY ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER.

ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERRECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH THE INSTRUCTIONS PREPARED BY THE SUPPLIER.

STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

THE STRUCTURAL ENGINEER HAS NO KNOWLEDGE OF, AND IS NOT RESPONSIBLE FOR THE SITE AND SOIL CONDITIONS.

MISCELLANEOUS

REFER TO ARCHITECTURAL DRAWINGS FOR WALL OPENINGS, ARCHITECTURAL TREATMENT AND DIMENSIONS NOT SHOWN. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF DUCT OPENINGS, PIPING, CONDUITS, ETC. NOT SHOWN. VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO STARTING WORK AND NOTIFY THE STRUCTURAL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. REFER TO THE SPECIFICATIONS FOR INFORMATION NOT CONTAINED IN THESE GENERAL NOTES.

SPECIAL INSPECTIONS

SPECIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH SBC CHAPTER 17 BY A TESTING AGENCY APPROVED BY THE AUTHORITY HAVING JURISDICTION FOR THE FOLLOWING COMPONENTS:

- NONE REQUIRED.

SUBMIT SPECIAL INSPECTION REPORTS TO THE CITY OF MERCER ISLAND BUILDING DEPARTMENT, THE ARCHITECT OF RECORD, AND THE STRUCTURAL ENGINEER OF RECORD.

END OF GENERAL STRUCTURAL NOTES

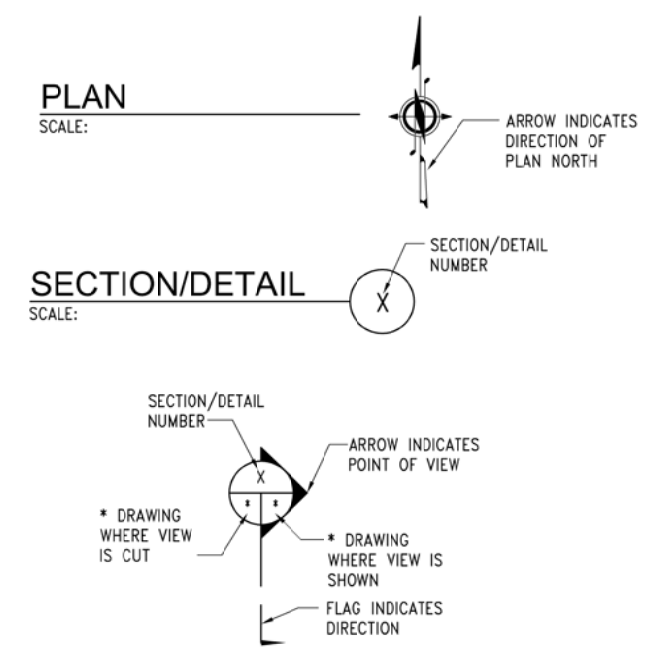
STRUCTURAL ABBREVIATIONS

LISTED ABBREVIATIONS FOR USE WITH STRUCTURAL DRAWINGS ONLY. SOME ABBREVIATIONS MAY NOT BE USED ON THE PLANS.

&	AND	FIG	FIGURE	PC	PRECAST
@	AT	FL	FLOOR	PCF	POUNDS PER CUBIC FOOT
#	NUMBER	FT	FOOT, FEET	PL	PLATE
		FTG	FOOTING	PLYWD	PLYWOOD
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	GA	GAGE	PREFAB	PRE-FABRICATED
AB	ANCHOR BOLT	GALV	GALVANIZED	PS	PRESTRESSED
ACI	AMERICAN CONCRETE INSTITUTE	GB	GRADE BEAM	PSF	POUNDS PER SQUARE FOOT
ADDL	ADDITIONAL	GL	GLUED LAMINATED TIMBER	PSI	POUNDS PER SQUARE INCH
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	GR	GUARD RAIL	PT	POST TENSION
ALT	ALTERNATE	GRND	GROUND	PVC	POLYVINYL CHLORIDE
APPROX	APPROXIMATE(LY)	GRTG	GRATING	PVMT	PAVEMENT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	H	HEIGHT	RAD, R	RADIUS
AWS	AMERICAN WELDING SOCIETY	HDR	HEADER	REF	REFERENCE/REFER
		HDWD	HARDWOOD	REINF	REINFORCING, REINFORCEMENT
		HEF	HORIZONTAL EACH FACE	REQD	REQUIRED
		HGR	HANGER	REV	REVISION
		HORIZ	HORIZONTAL	RM	ROOM
BLDG	BUILDING	HP	HIGH POINT	S	AMERICAN STANDARD SHAPE
BLK	BLOCK(ING)	HR	HANDRAIL	SCHED	SCHEDULE
BM	BEAM	HSS	HOLLOW STEEL SHAPE	SECT	SECTION
BOT	BOTTOM	ID	INSIDE DIAMETER	SHT	SHEET
BRG	BEARING	IE	INVERT ELEVATION	SIM	SIMILAR
BSTM	BASEMENT	IF	INSIDE FACE	SOG	SLAB ON GRADE
BTWN	BETWEEN	IN	INCH	SP	SPACE(S,ED)
		INT	INTERIOR	SPEC	SPECIFICATION, SPECIFIED
C	STANDARD CHANNEL	INV	INVERT	SQ	SQUARE
CC	CENTER TO CENTER	JT	JOINT	SS	STAINLESS STEEL
CCF	CONTROLLED DENSITY FILL	KIP, K	1,000 POUNDS	STD	STANDARD
CIP	CAST IN PLACE	KSI	KIPS PER SQUARE INCH	STL	STEEL
CJ	CONSTRUCTION JOINT	L	ANGLE	STIFF	STIFFENER
CL	CENTERLINE	LB	POUND	STRUCT	STRUCTURAL
CLR	CLEAR	LF	LINEAL FEET	SUPT	SUPPORT
CMU	CONCRETE MASONRY UNIT	LL	LIVE LOAD	SW	SHEAR WALL
COL	COLUMN	LG	LONG	SYM	SYMMETRICAL
CONC	CONCRETE	LLH	LONG LEG HORIZONTAL	T	TOP
CONN	CONNECTION	LLV	LONG LEG VERTICAL	T&B	TOP AND BOTTOM
CONST	CONSTRUCTION	LP	LOW POINT	T&G	TONGUE AND GROOVE
CONT	CONTINUOUS	LVL	LEVEL	TOC	TOP OF CONCRETE
CP	COMPLETE PENETRATION WELD -ULTRASONIC TEST CENTER(ED)	MAS	MASONRY	TOF	TOP OF FOOTING
		MATL	MATERIAL	TOS	TOP OF STEEL
D	DEEP, DEPTH	MAX	MAXIMUM	TOW	TOP OF WALL
d	PENNY (NAILS)	MECH	MECHANICAL	TRNSV	TRANSVERSE
DEMO	DEMOLITION	MISC	MISCELLANEOUS	TYP	TYPICAL
DET	DETAIL	N	NORTH	UG	UNDERGROUND
DF	DOUGLAS FIR	NF	NEAR FACE	UNO	UNLESS NOTED OTHERWISE
DIA, Ø	DIAMETER	NIC	NOT IN CONTRACT	UT	ULTRASONIC TEST
DL	DEAD LOAD	NOM	NOMINAL		
DN	DOWN	NTS	NOT TO SCALE	W/	WITH
DWG(S)	DRAWING(S)	OC	ON CENTER	W/O	WITHOUT
DWL(S)	DOWEL(S)	OD	OUTSIDE DIAMETER	WP	WORK POINT
		O.F.	OUTSIDE FACE	WT	WEIGHT, STRUCTURAL TEE
EA	EACH	OPNG(S)	OPENING(S)	WWF	WELDED WIRE FABRIC
EF	EACH FACE	OP	OPPOSITE (HAND)	X-STR	EXTRA STRONG
EJ	EXPANSION JOINT	OWJ	OPEN WEB JOIST	XX-STR	DOUBLE EXTRA STRONG
ELEV	ELEVATION			YD	YARD
EL, ELEV	ELEVATION				
EMBED	EMBEDMENT				
EQ	EQUAL(LY)				
EW	EACH WAY				
EXP	EXPANSION				
EXIST	EXISTING				
FB	FLAT BAR				
f'c	CONCRETE COMPRESSIVE STRENGTH				
f'm	MASONRY PRISM STRENGTH				
FDN	FOUNDATION				
FF	FAR FACE				

VERIFY SCALE
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

GENERAL SYMBOLOLOGY



DATE	20SEP19	DESCRIPTION	CITY OF MERCER ISLAND REVIEW COMMENTS
SCALE:	NTS	CHK BY:	DJ
		DRW BY:	GF
		REF:	

HARBOR CONSULTING ENGINEERS
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 3316 FUHRMAN AVENUE EAST, SUITE 250
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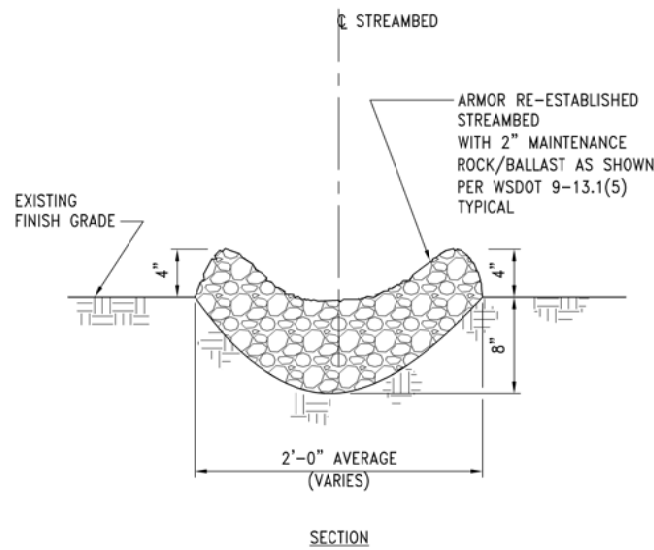
KNOPF RESIDENCE
 9507 SE 43rd Street
 MERCER ISLAND WA 98040

GENERAL STRUCTURAL NOTES, ABBREVIATIONS, AND SYMBOLOLOGY

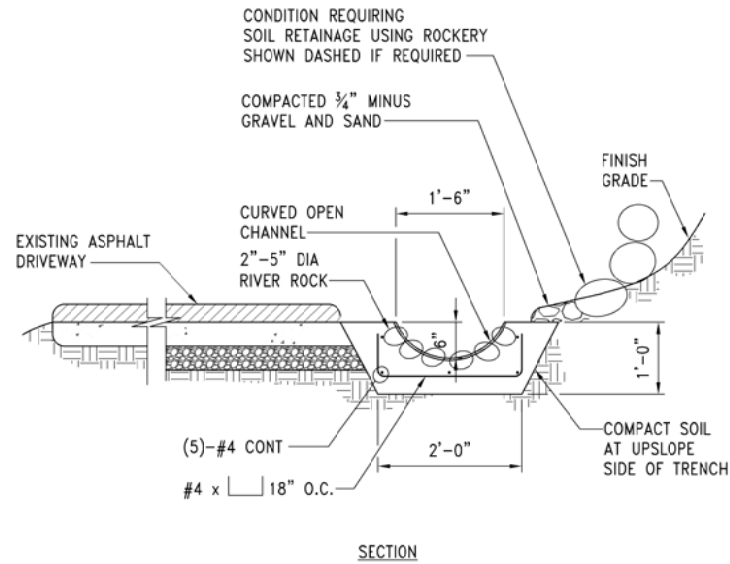
JOB NO. 19023.00
 DATE: 8.22.19
 SHEET: 6 OF 8
 DWG.# S0

PERMIT SET

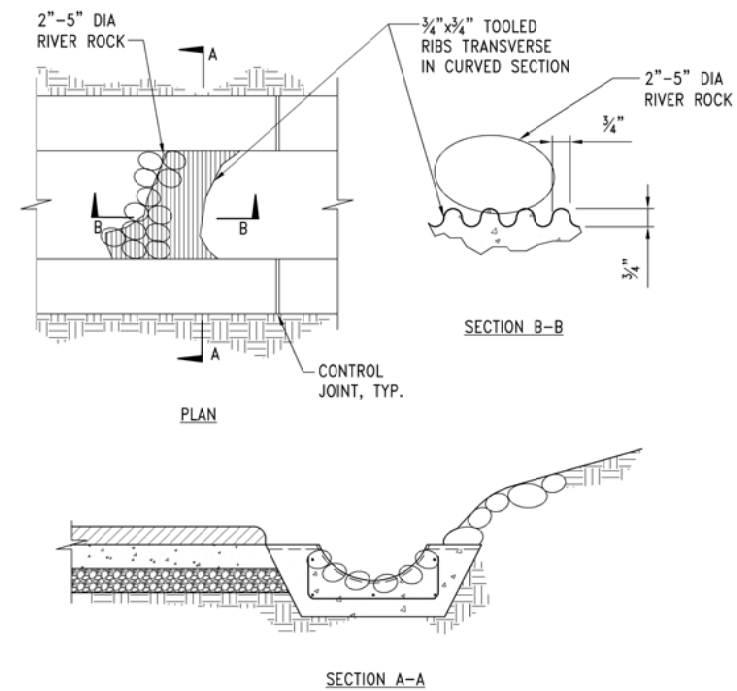




TYP EXISTING STREAMBED ARMORING
SCALE: 1 1/2" = 1'-0"

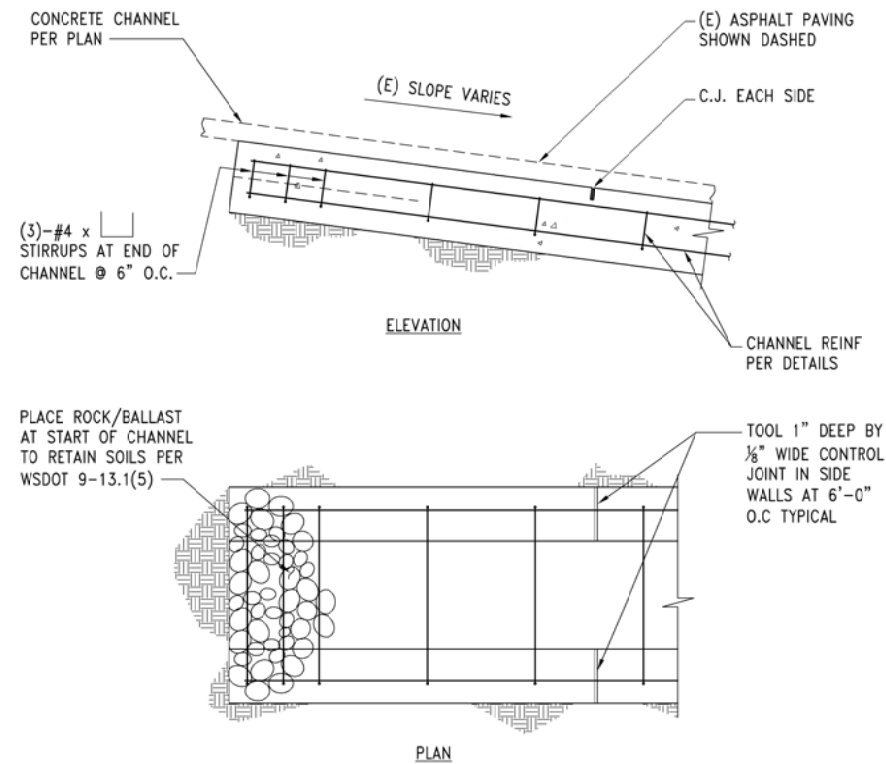


TYP OPEN CHANNEL UP SLOPE OF DRIVEWAY
SCALE: 3/4" = 1'-0"



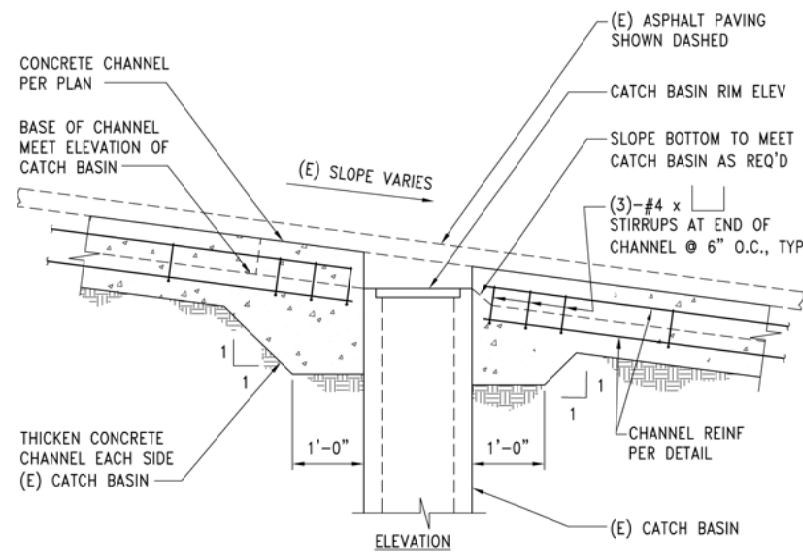
NOTE:
1. FOLLOW CURVATURE AND ELEVATION OF DRIVEWAY SEE SHEET S1.

TYP CHANNEL FINISHING DETAIL
SCALE: 3/4" = 1'-0"

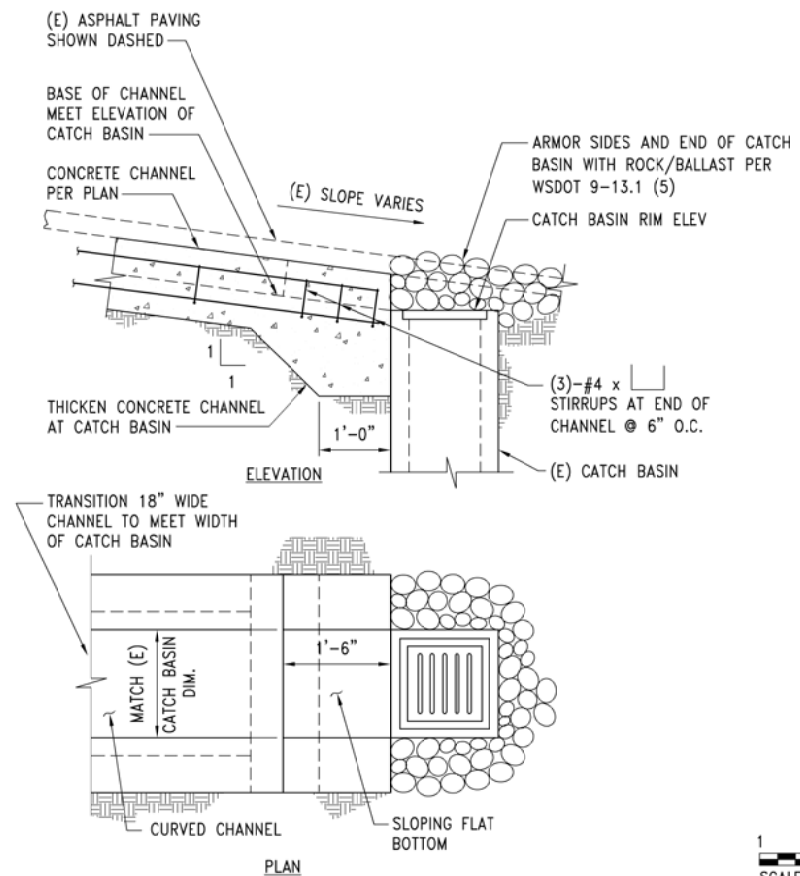


NOTE:
1. FOLLOW CURVATURE AND ELEVATION OF DRIVEWAY, SEE SHEET S1.

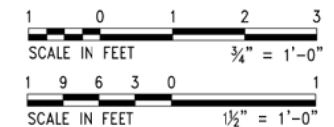
UPSLOPE DRAINAGE CHANNEL
SCALE: 3/4" = 1'-0"



DRAINAGE CHANNEL TO (E) CATCH BASIN
SCALE: 3/4" = 1'-0"



CHANNEL TERMINATION TO (E) CATCH BASIN
SCALE: 3/4" = 1'-0"



VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

DATE	DESCRIPTION	REVISED	SCALE	AS NOTED	CHK BY:	DRW BY:	REF:
20SEP19	CITY OF MERCER ISLAND				DJ	TL	

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MERCER ISLAND WA. 98040
HILLSIDE IMPROVEMENTS DETAILS

JOB NO. 19023.00

DATE: 8.22.19

SHEET: 8 OF 8

DWG.#

S2

PERMIT SET